# **DEVELOPMENT APPLICATION**

## **ALTERATIONS & ADDITIONS**

AT

26 Second St, Ashbury

**FOR** 

# Mr & Mrs Ferrara

## **DRAWING LIST**

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- PROPOSED GROUND FLOOR PLAN
- PROPOSED GROUND FLOOR PLAN BACKYARD & POOL
- 05 PROPOSED FIRST FLOOR PLAN
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В	DEVELOPMENT APPLICATION	06-06-2022	DP	RO, EJS
Α	CONCEPT DESIGN	26-04-2022	DP	RO, EJS
ISSUE	AMENDMENTS	DATE	DRN	CHK

Mr & Mrs Ferrara

26 Second St, Ashbury

**ALTERATIONS & ADDITIONS** 

**DEVELOPMENT APPLICATION** 

Cover Sheet







## **EXISTING - SITE CALCULATIONS**

ZONE R2 SITE AREA 297.2m<sup>2</sup>

**FLOOR AREA** 

EXISTING DWELLING 88.1m<sup>2</sup> OUTBUILDINGS 22.4m<sup>2</sup> **EXISTING FSR** 

0.3:1

23.3%

15%

0.55:1

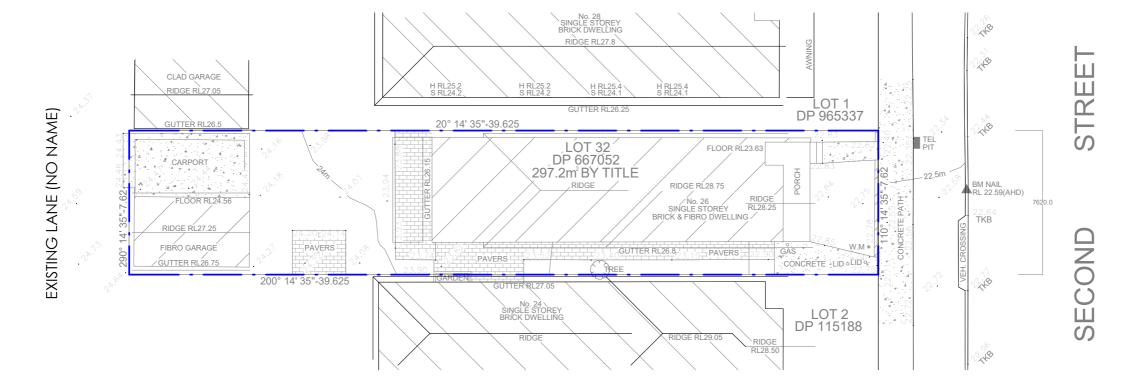
SITE COVERAGE

MAX. ALLOWABLE FSR

HARDPAVED AREA 99m² SOFT LANDSCAPE AREA 12.9m<sup>2</sup> DEEP SOIL AREA 69.3m<sup>2</sup>

DEEP SOIL PERCENTAGE MIN. REQUIRED LANDSCAPING

SURVEY INFORMATION TAKEN FROM SURVEY PLAN BY REGISTERED SURVEYOR 'TJ SURVEYORS PTY LTD' FILE No. 11680



## **EXISTING SITE PLAN**

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**ALTERATIONS & ADDITIONS** Mr & Mrs Ferrara

26 Second St, Ashbury

DEVELOPMENT APPLICATION

## **EXISTING SITE & ROOF PLAN**

SHEET NO:	01		ISSUE:	В
SCALE:	1 : 200	@A3	JOB NO:	888-1657
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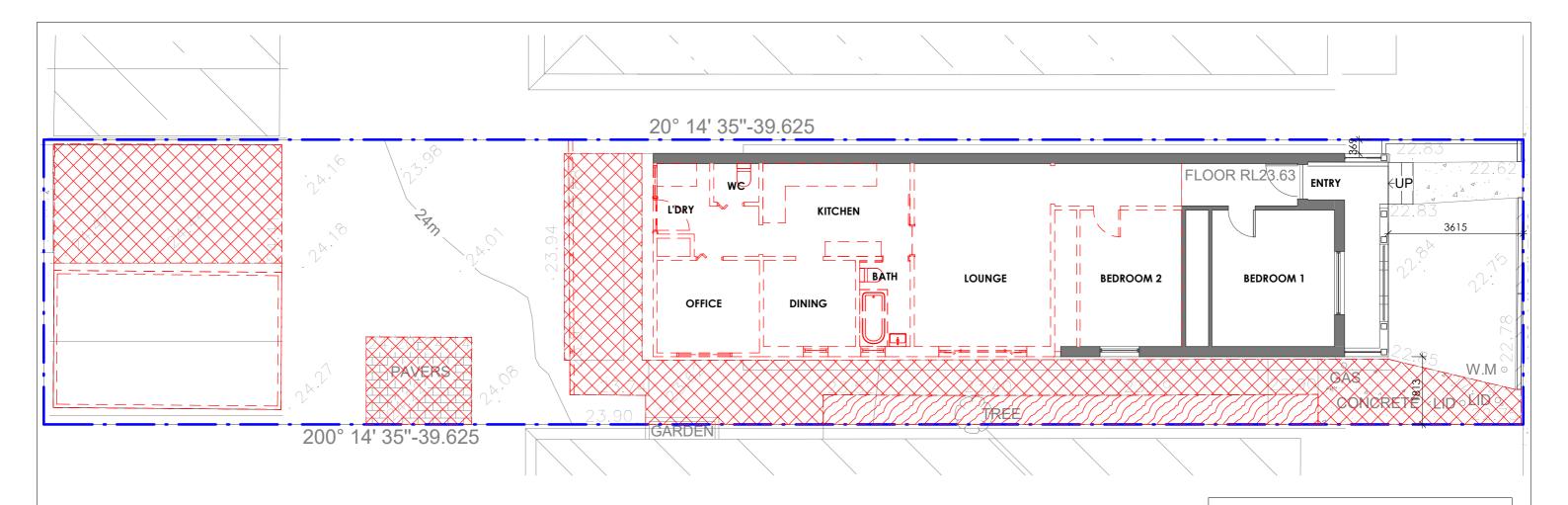
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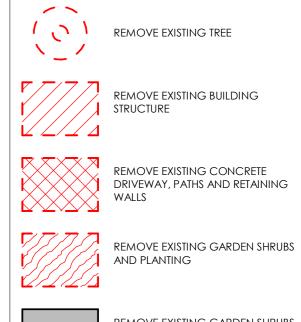


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**DEMOLITION LEGEND** 





REMOVE EXISTING GARDEN SHRUBS AND PLANTING

## PROPOSED DEMOLITION PLAN

1:100

 B
 DEVELOPMENT APPLICATION
 06-06-2022
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Mr & Mrs Ferrara

26 Second St, Ashbury

ALTERATIONS & ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

## PROPOSED DEMOLITION PLAN

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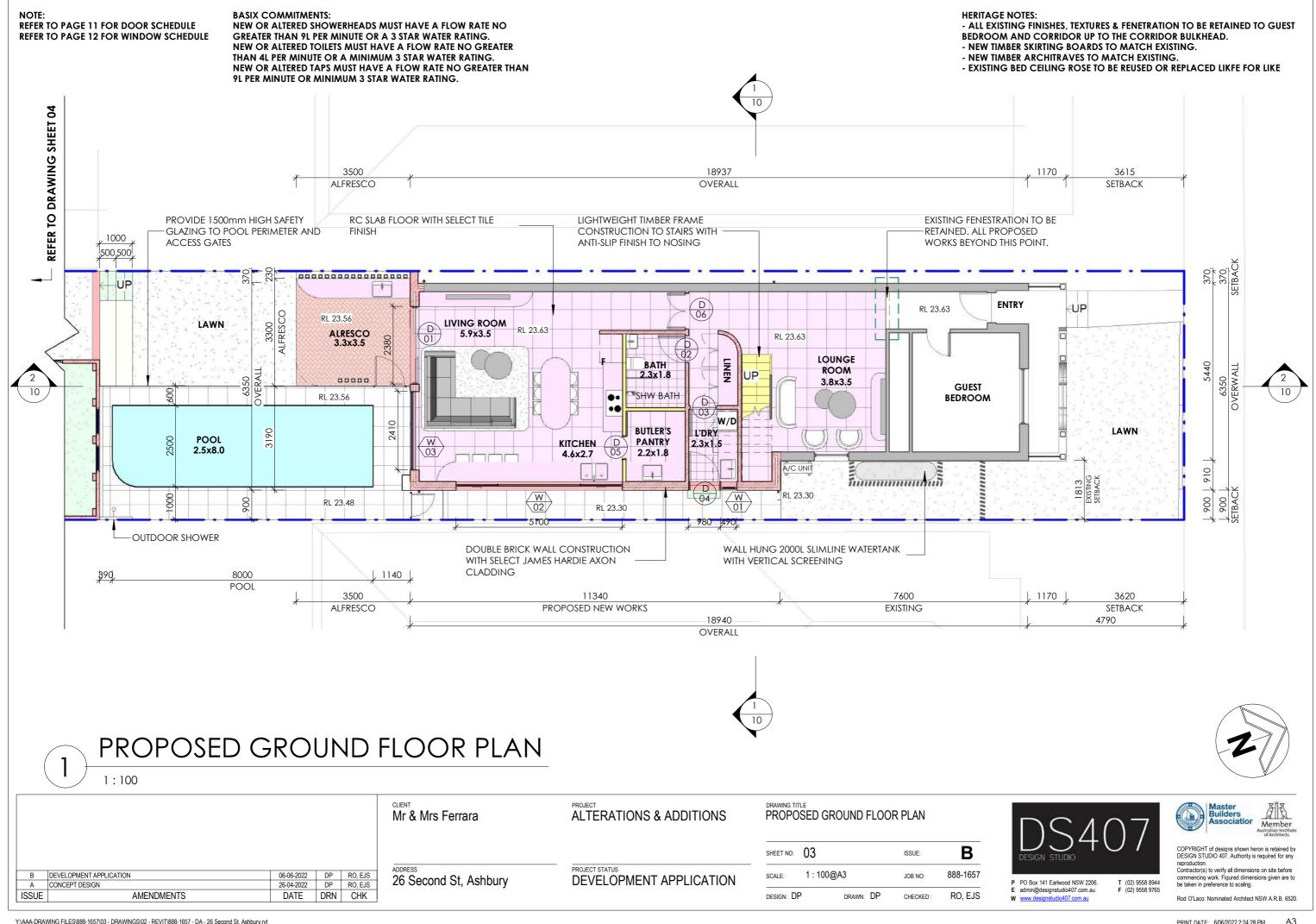


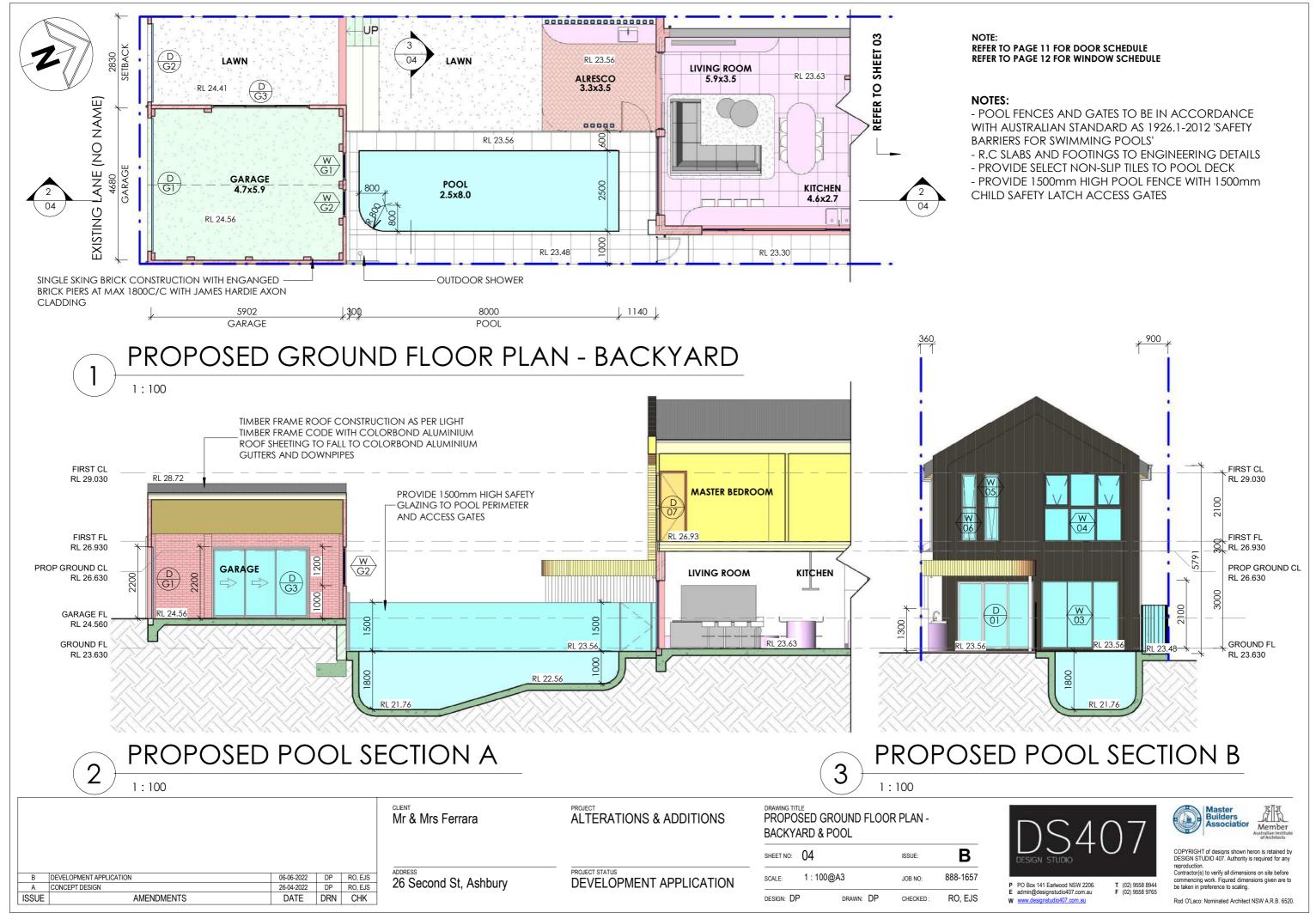
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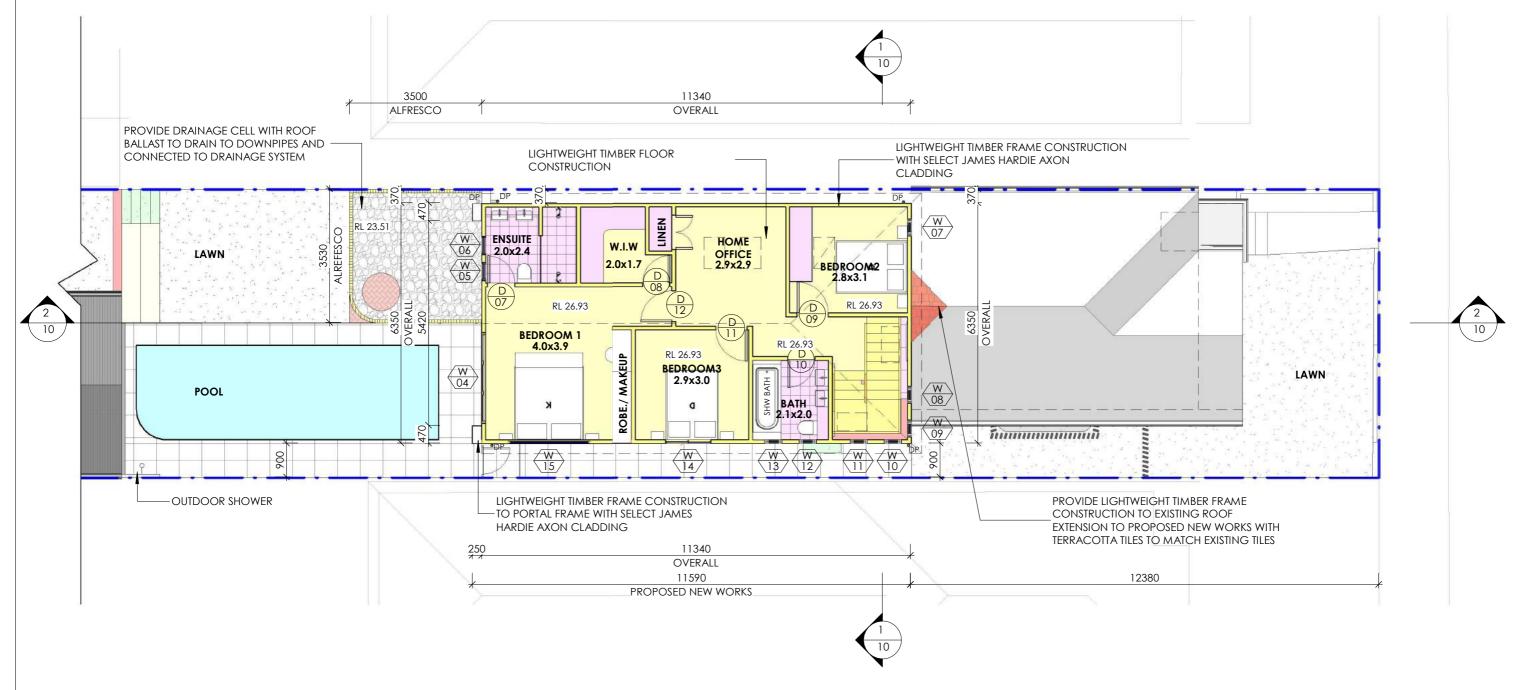
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REFER TO PAGE 11 FOR DOOR SCHEDULE REFER TO PAGE 12 FOR WINDOW SCHEDULE BASIX COMMITMENTS: NEW OR ALTERED SHOWERHEADS MUST HAVE A FLOW RATE NO GREATER THAN 9L PER MINUTE OR A 3 STAR WATER RATING. NEW OR ALTERED TOILETS MUST HAVE A FLOW RATE NO GREATER THAN 4L PER MINUTE OR A MINIMUM 3 STAR WATER RATING. NEW OR ALTERED TAPS MUST HAVE A FLOW RATE NO GREATER THAN 9L PER MINUTE OR MINIMUM 3 STAR WATER RATING.



**DEVELOPMENT APPLICATION** 





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Mr & Mrs Ferrara	ALTERATIONS & ADDITIONS

26 Second St, Ashbury

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PROPOSED FIRST FLOOR PLAN



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## **SITE CALCULATIONS**

## **ALTERATIONS & ADDITIONS**

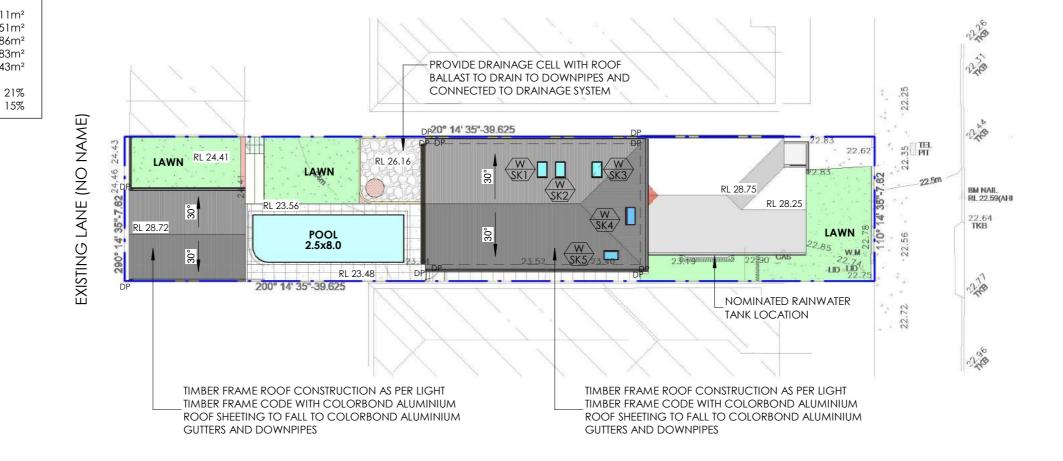
MIN. REQUIRED LANDSCAPING

ZONE SITE AREA	R2 297.2m²
FLOOR AREA EXISTING DWELLING	88.11m²
PROPOSED ADDITIONS PROPOSED GROUND FLOOR PROPOSED FIRST FLOOR  TOTAL FLOOR AREA	98.73m² 63.40m² 162.13m²
TOTAL FLOOR SPACE RATIO *MAX. ALLOWABLE FSR	54:1 55:1
SITE COVERAGE PROPOSED DWELLING FOOTPRINT GARAGE/OUTBUILDINGS POOL HARDPAVED AREA DEEP SOIL AREA	143.11m <sup>2</sup> 27.51m <sup>2</sup> 19.86m <sup>2</sup> 49.83m <sup>2</sup> 63.43m <sup>2</sup>
DEEP SOIL PERCENTAGE	21%

REFER TO PAGE 11 FOR DOOR SCHEDULE REFER TO PAGE 12 FOR WINDOW SCHEDULE

## BASIX COMMITMENTS:

NEW OR ALTERED SHOWERHEADS MUST HAVE A FLOW RATE NO GREATER THAN 9L PER MINUTE OR A 3 STAR WATER RATING. NEW OR ALTERED TOILETS MUST HAVE A FLOW RATE NO GREATER THAN 4L PER MINUTE OR A MINIMUM 3 STAR WATER RATING. NEW OR ALTERED TAPS MUST HAVE A FLOW RATE NO GREATER THAN 9L PER MINUTE OR MINIMUM 3 STAR WATER RATING.



## PROPOSED SITE PLAN

	1:200			
В	DEVELOPMENT APPLICATION	06-06-2022	DP	RO, EJS
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<sup>∐ENT</sup> ∕Ir & Mrs Ferrara	ALTERATIONS & ADDITIONS

26 Second St, Ashbury

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PROPOSED SITE PLAN & ROOF PLAN





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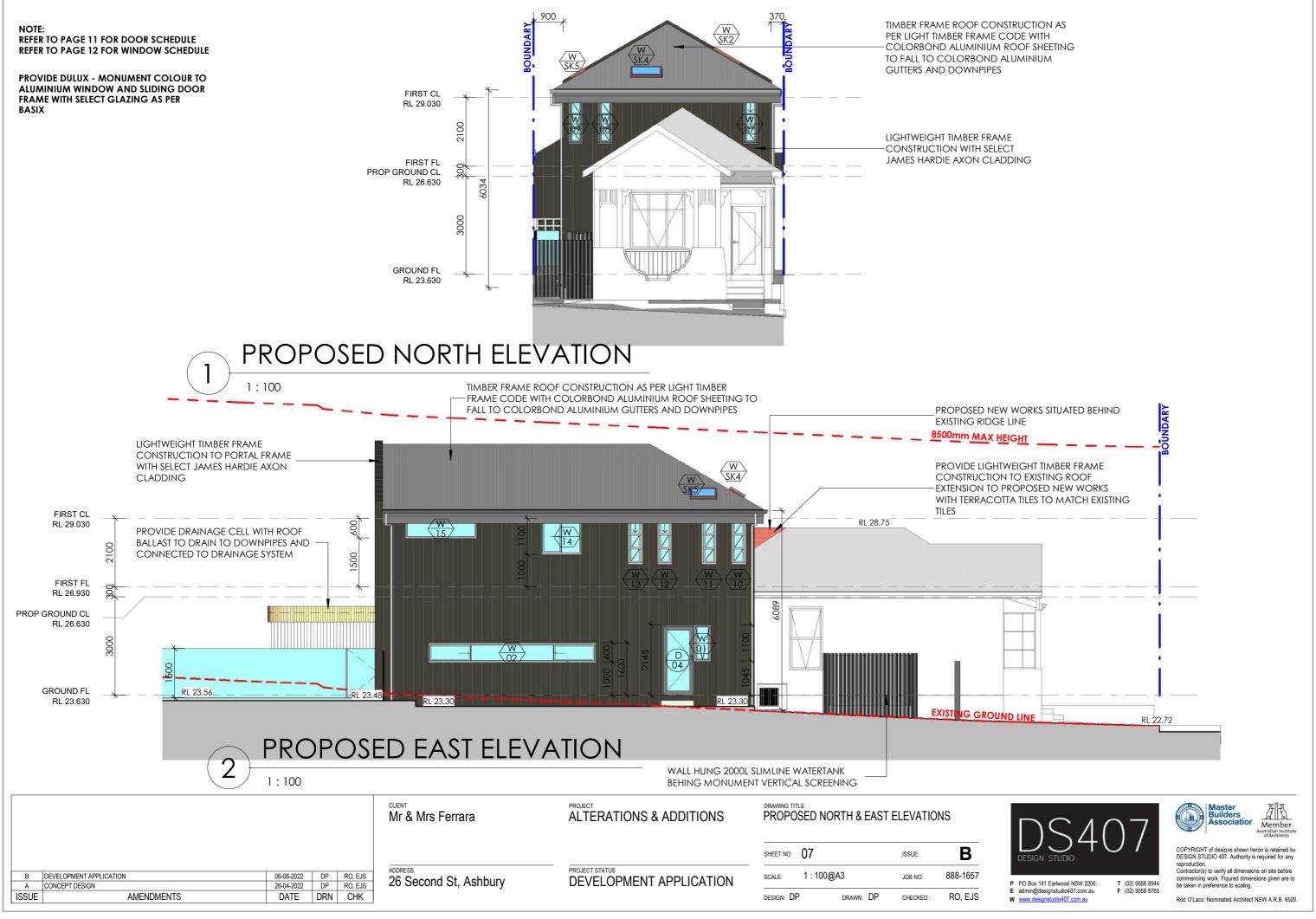
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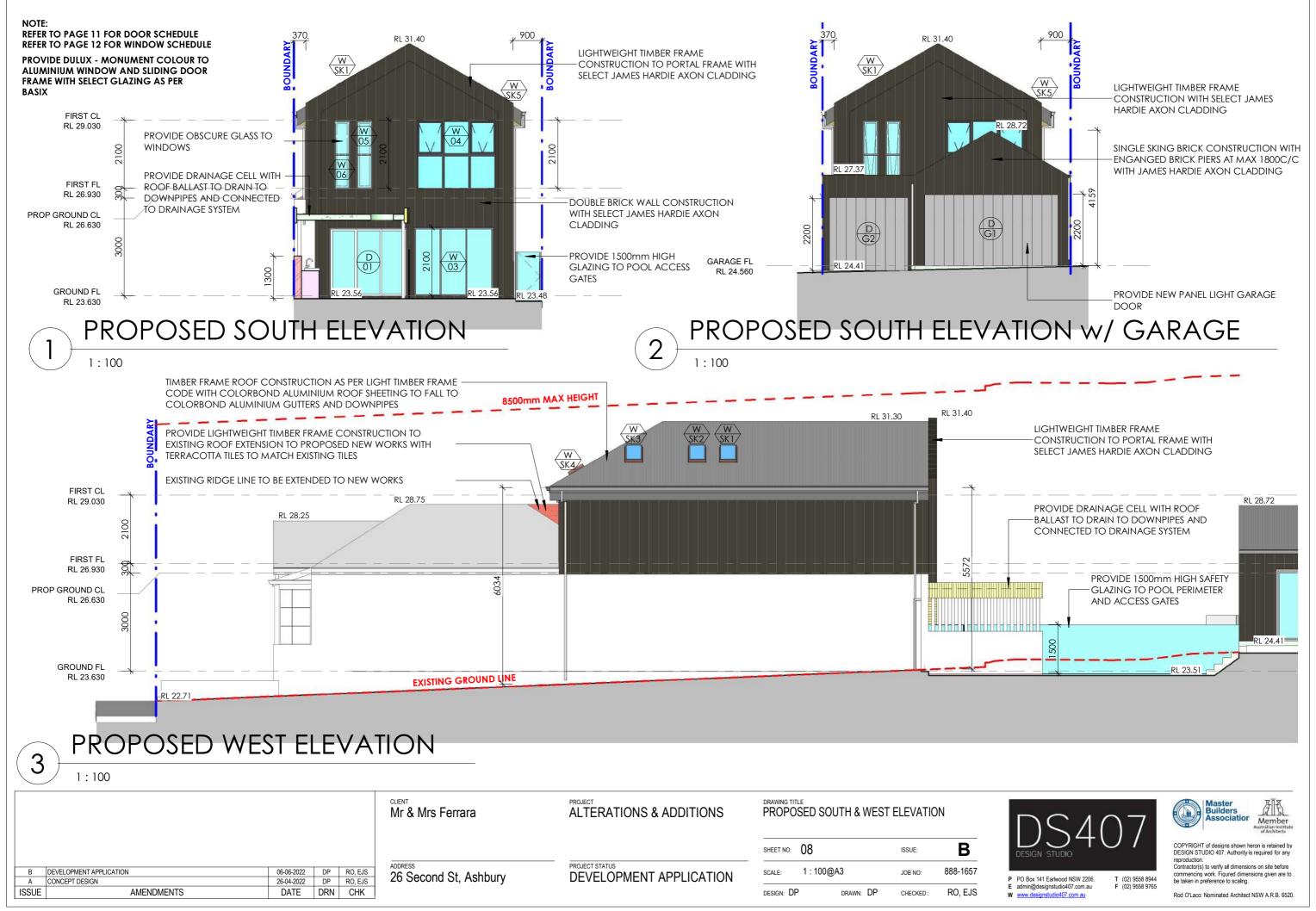
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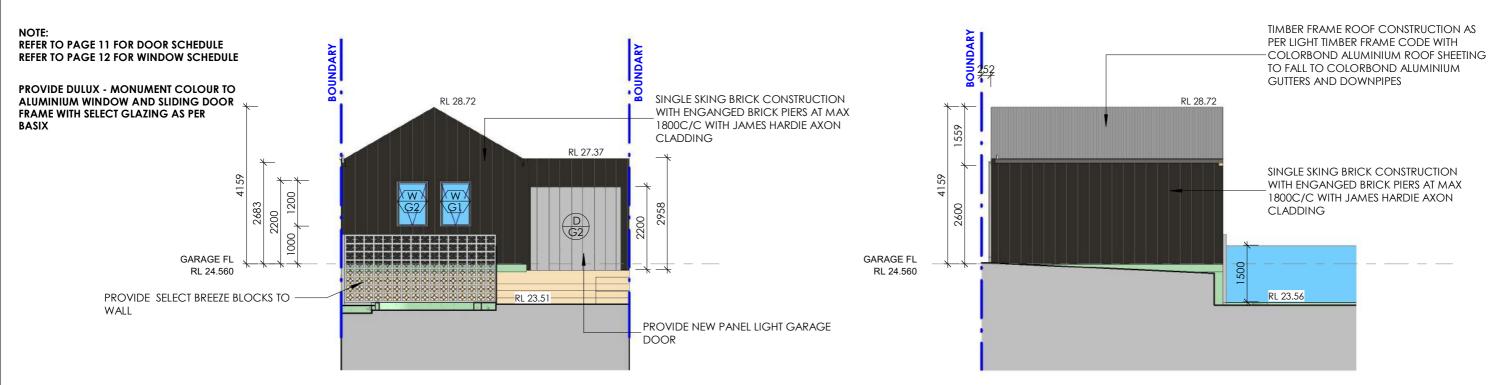
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Rod O'Laco: Nominated Architect NSW A.R.B. 6520.

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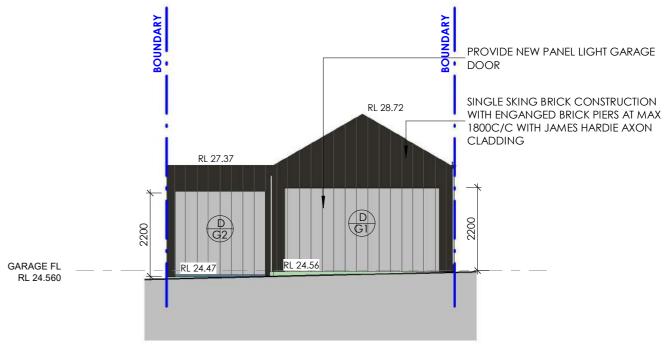
PROPOSED NORTH GARAGE ELEVATION

1:100

TIMBER FRAME ROOF CONSTRUCTION AS PER LIGHT TIMBER FRAME CODE WITH COLORBOND ALUMINIUM ROOF SHEETING TO FALL TO COLORBOND ALUMINIUM **GUTTERS AND DOWNPIPES** RL 28.72 SINGLE SKING BRICK CONSTRUCTION WITH ENGANGED BRICK PIERS AT MAX 1800C/C WITH JAMES HARDIE AXON CLADDING GARAGE FL RL 24.560

PROPOSED EAST GARAGE ELEVATION

1:100



PROPOSED WEST GARAGE ELEVATION

26 Second St, Ashbury

1:100

PROPOSED SOUTH GARAGE ELEVATION 1:100

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Mr & Mrs Ferrara	ALTERATIONS & ADDITIONS

DEVELOPMENT APPLICATION

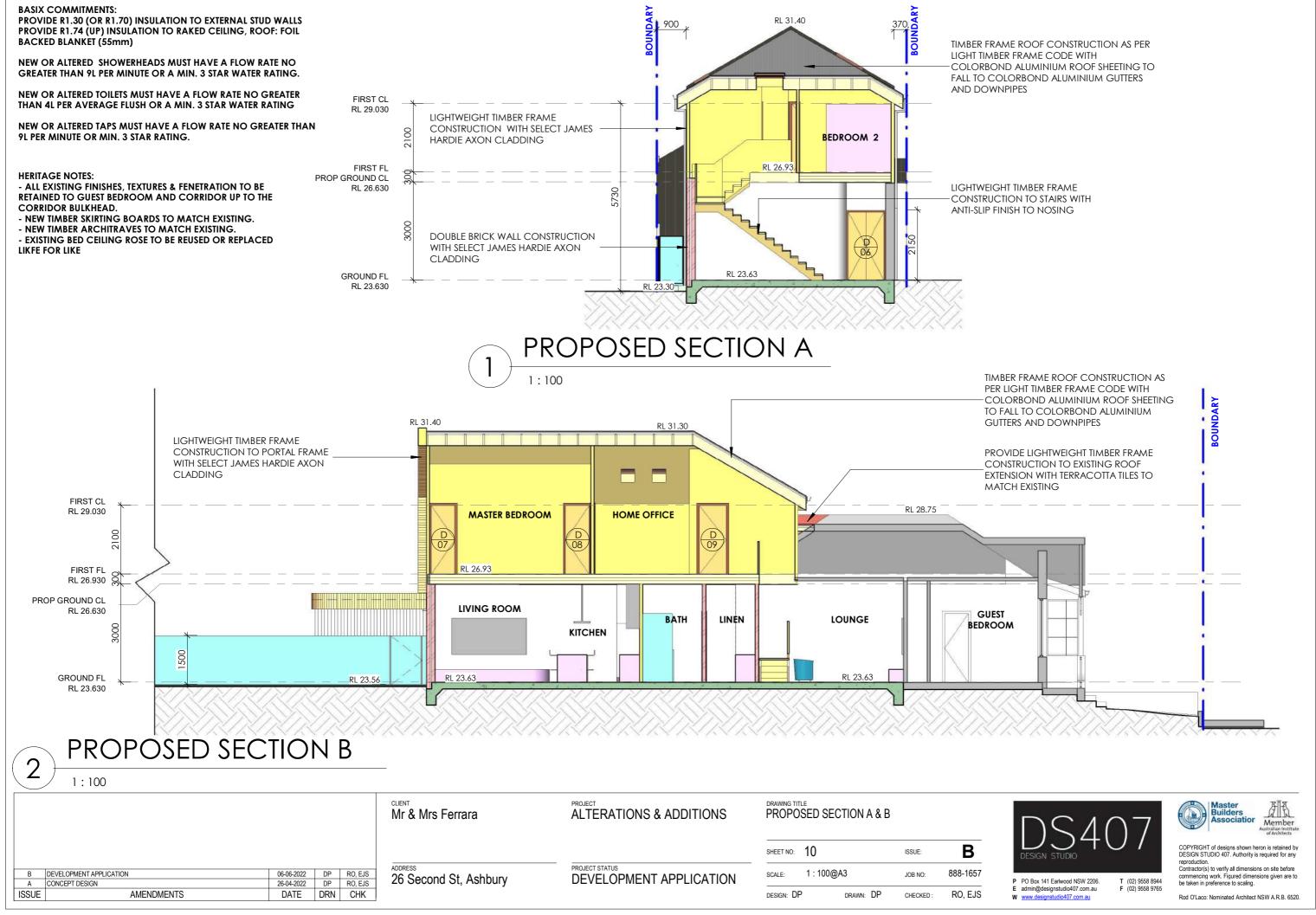
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PROPOSED GARAGE ELEVATION

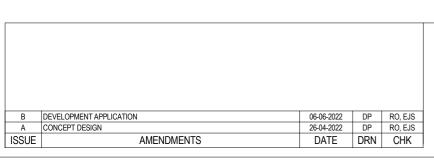




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	DOOR SCHEDULE							
Mark	Height	Width	Door Area	Description	Basix Requirements			
01	2100	2380	5.00	Aluminium frame sliding door	STANDARD ALUM. ,SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)			
02	2040	820	1.67	Timber Solid Core Internal Single Swing Door				
03	2040	820	1.67	Timber Solid Core Internal Single Swing Door				
04	2100	920	1.93	Alum. Frame Glazed Single Swing Door	STANDARD ALUM. ,SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)			
05	2040	720	1.47	Timber Hollow Core Wall Sliding Door				
06	2100	1090	2.29	2 Panel Timber French Doors				
07	2040	720	1.47	Timber Solid Core Internal Single Swing Door				
80	2040	720	1.47	Timber Solid Core Internal Single Swing Door				
09	2040	820	1.67	Timber Solid Core Internal Single Swing Door				
10	2040	720	1.47	Timber Solid Core Internal Single Swing Door				
11	2040	820	1.67	Timber Solid Core Internal Single Swing Door				
12	2040	820	1.67	Timber Solid Core Internal Single Swing Door				
G1	2200	4100	9.02	Select Alum. Sectional Overhead Garage Door				
G2	2200	2400	5.28	Select Alum. Sectional Overhead Garage Door				
G3	2200	3010	6.62	3 Panel Alum. Frame Sliding Stacking Doors				



Mr & Mrs Ferrara

26 Second St, Ashbury

PROJECT ALTERATIONS & ADDITIONS

DEVELOPMENT APPLICATION

В SHEET NO: 11 ISSUE: 888-1657 SCALE: JOB NO: DRAWN: DP DESIGN: DP RO, EJS CHECKED:

DOOR SCHEDULE

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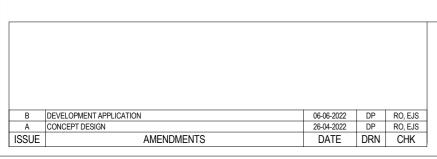
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Rod O'Laco: Nominated Architect NSW A.R.B. 6520.

WIN	<b>IDOW</b>	<b>ISCH</b>	IEDULE

Mark	Height	Width	Window Area	Head Height	Description	Basix Requirments
01	1100	490	0.54	2145	Alum. Frame Awning Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
02	600	5100	3.06	1600	Alum. Frame Sliding & Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
03	2100	2410	5.06	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
04	2100	2410	5.06	2100	Alum. Frame Awning & Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
05	2100	490	1.03	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear & Obscure Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
06	2100	490	1.03	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
07	1400	450	0.63	2100	Alum. Frame Double Hung & Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
08	1400	450	0.63	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
09	1400	450	0.63	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
10	1400	450	0.63	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE PYROLYTIC LOW-E, (U-VALUE: 5.7, SHGC: 0.47
11	1400	450	0.63	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE PYROLYTIC LOW-E, (U-VALUE: 5.7, SHGC: 0.47
12	1400	450	0.63	2100	Alum. Frame Double Hung & Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE PYROLYTIC LOW-E, (U-VALUE: 5.7, SHGC: 0.47
13	1400	450	0.63	2100	Alum. Frame Double Hung & Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE PYROLYTIC LOW-E, (U-VALUE: 5.7, SHGC: 0.47
14	1100	1200	1.32	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE PYROLYTIC LOW-E, (U-VALUE: 5.7, SHGC: 0.47
15	600	2170	1.30	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUM. SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75
G1	1200	830	1.00	2200	Alum. Frame Awning Window w/ 6.38mm Lam. Clear Glazing	
G2	1200	830	1.00	2200	Alum. Frame Awning Window w/ 6.38mm Lam. Clear Glazing	
SK1	900	500	0.45		Timber Frame Skylight	TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL, (OR U-VALUE: 2.5, SHGC: 0.456)
SK2	900	500	0.45		Timber Frame Skylight	TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL, (OR U-VALUE: 2.5, SHGC: 0.456)
SK3	900	500	0.45		Timber Frame Skylight	TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL, (OR U-VALUE: 2.5, SHGC: 0.456)
SK4	900	500	0.45		Timber Frame Skylight	TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL, (OR U-VALUE: 2.5, SHGC: 0.456)
SK5	750	500	0.38		Timber Frame Skylight	TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL, (OR U-VALUE: 2.5, SHGC: 0.456)



Mr & Mrs Ferrara

26 Second St, Ashbury

ALTERATIONS & ADDITIONS

DEVELOPMENT APPLICATION

PROJECT STATUS

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DRAWING TITLE WINDOW SCHEDULE



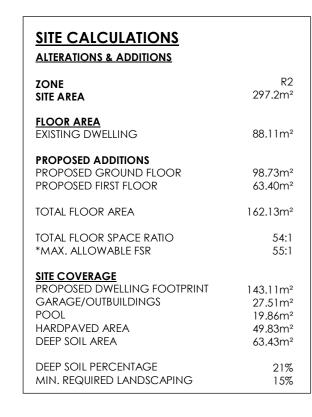
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# PROPOSED FIRST FLOOR

DEVELOPMENT APPLICATION

B DEVELOPMENT APPLICATION
A CONCEPT DESIGN 06-06-2022 DP RO, EJS 26-04-2022 DP RO, EJS ISSUE AMENDMENTS DATE DRN CHK

Mr & Mrs Ferrara **ALTERATIONS & ADDITIONS** 

1:200

26 Second St, Ashbury

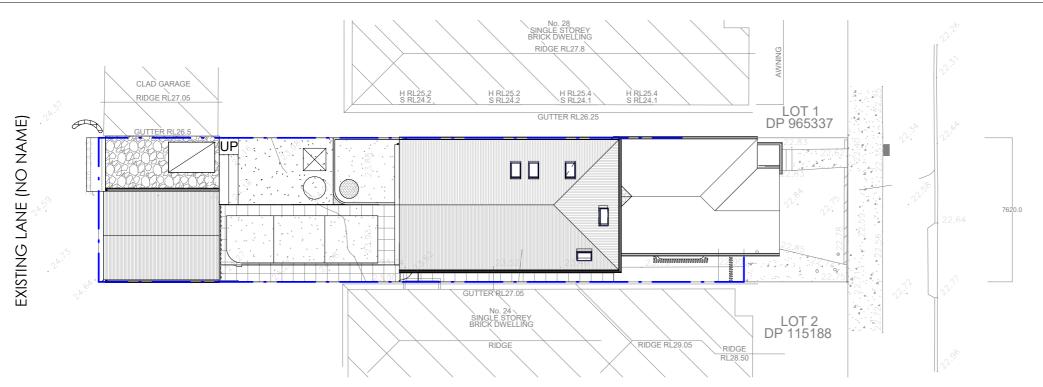
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AREA CALCULATIONS



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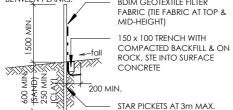


## SEDIMENT CONTROL, CONSTRUCTION & WASTE MANAGEMENT PLAN

1:200

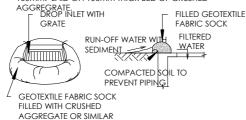
#### TYPICAL SHAKEDOWN SECTION

THIS DEVICE IS TO BE REGULARLY CLEANED OF DEPOSITED BETWEEN PLANKS. BDIM GEOTEXTILE FILTER



#### **ALTERNATIVE SECTION**

GRID MADE FROM FULLY WELDED 150x75 PFC PERIMETER FRAME WITH 150x75 PFC SPACED AT 100mm. LAID ON 100mm THICK BED OF CRUSHED



## TEMP. SEDIMENT CONTROL FENCE

#### TEMP. DROP INLET SEDIMENT TRAP

- & TURFING IS COMPLETED
- 2. MINIMISE BARE EARTH AND DISTURBED AREAS. ALL BARE SOIL AREAS ARE TO BE PROTECTED FROM EROSION BY TEMPORARY MEASURES AND REVEGETATED AT CESSATION OF CONSTRUCTION.
- 3. RETURN OR PROTECT AS SOON AS PRACTICABLE.
- 4. COVER ALL SOIL MOUNDS.
- 5. PROVIDE LARGE COARSE AGGREGATE SURFACE (100 MIN. DEEP) TO ENTRY AND EXIT AREAS WITH GEOTEXTILE FILTER UNDERLAY.
  6. SATISFACTORILY COMPACT ALL BACKFILL.
- LOCATE ALL DEBRIS IN CATCH AREA BEHIND SEDIMENT FENCE.
- 8. REGULARLY CHECK AND MAINTAIN ALL SEDIMENT FEATURES.

ALL EROSION PROTECTION MEASURES TO MEET THE REQUIREMENTS OF COUNCIL & DEPT. OF CONSERVATION AND LAND

## SEDIMENT CONTROL DEVICES

FILTER DAMS ARE TO BE CONSTRUCTED AT ALL DRAINAGE OUTLETS WITHIN THE SITE. THESE DAMS SHALL BE CONSTRUCTED AS DETAILED IN THE APPROVED DRAWINGS

SILT FENCES SHALL BE CONSTRUCTED AS DETAILED IN THE APPROVED DRAWINGS AROUND ALL DISTURBED AREAS, STOCKPILES AND AS DIRECTED BY THE ENGINEER.

MATERIALS AND WORKMANSHIP SHALL BE TO THE ENGINEER'S SATISFACTION AND UNLESS OTHERWISE SPECIFIED SHALL CONFORM TO SUCH STANDARD SPECIFICATIONS ISSUED BY THE STANDARDS ASSOCIATION OF AUSTRALIA AS

#### TRANSPORTATION OF MATERIALS

Transportation of materials and of Earth, Sand, Road Construction material, loose debris and any loose materials to or from the site will be in a manner that will prevent the dropping of material on the SURROUNDING STREETS. LOAD COVERS ARE TO BE USED AT ALL TIMES.

ADEQUATE PRECAUTIONS ARE TO BE TAKEN TO PROTECT AND PRESERVE ANY SURVEY MARK RELATIVE TO OR AFFECTED BY THE DEVELOPMENT.

## **EARTHWORKS & CLEARING**

DURING THE CLEARING, CARE SHALL BE TAKEN NOT TO DISTURB ANY BENCHMARK, SURVEY OR LEVEL PEG. TOPSOIL IS TO BE REMOVED FROM THE WORKS AREA, STOCKPILED AND REPLACED UPON THE DISTURBED AREAS AT THE

PRIOR TO AND DURING ANY CONSTRUCTION WORKS THE ROOTS. TRUNKS AND BRANCHES OF ALL VEGETATION TO BE RETAINED SHALL BE PROTECTED FROM POLLUTANTS, MACHINERY, CHEMICAL AND FUEL SPILLAGE, COMPACTION OF SURROUNDING SOILS, LEVEL CHANGES WITHIN THE DRIP LINE, STOCKPILING OF SPOIL, AND STOCKPILING OF BUILDING MATERIALS. PROTECTIVE FENCING OF SUCH VEGETATION SHALL BE UNDERTAKEN AS NECESSARY. VEGETATION TO BE LEFT UNDISTURBED OUTSIDE THE

#### **ALTERATIONS & ADDITIONS** SIDEMENT CONTROL, CONSTRUCTION & Mr & Mrs Ferrara WASTE MANAGEMENT PLAN SHEET NO: 14 B DEVELOPMENT API A CONCEPT DESIGN 06-06-2022 DP RO, EJS 26-04-2022 DP RO, EJS DEVELOPMENT APPLICATION SCALE: DEVELOPMENT APPLICATION 26 Second St, Ashbury ISSUE **AMENDMENTS** DATE DRN CHK DESIGN: DP DRAWN: DP



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**LEGENDS** 

SILT & SAFETY FENCE

**GRAVEL ACCESS** 

GEO TEXTILE FABRIC

**HARDWOOD** 

CROSSING

SKIP BIN

**STOCKPILES** 



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PROJECT STATUS
DEVELOPMENT APPLICATION

DESIGN: Designer

26 Second St, Ashbury

DATE DRN CHK

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AMENDMENTS

B DEVELOPMENT APPLICATION
A CONCEPT DESIGN

ISSUE

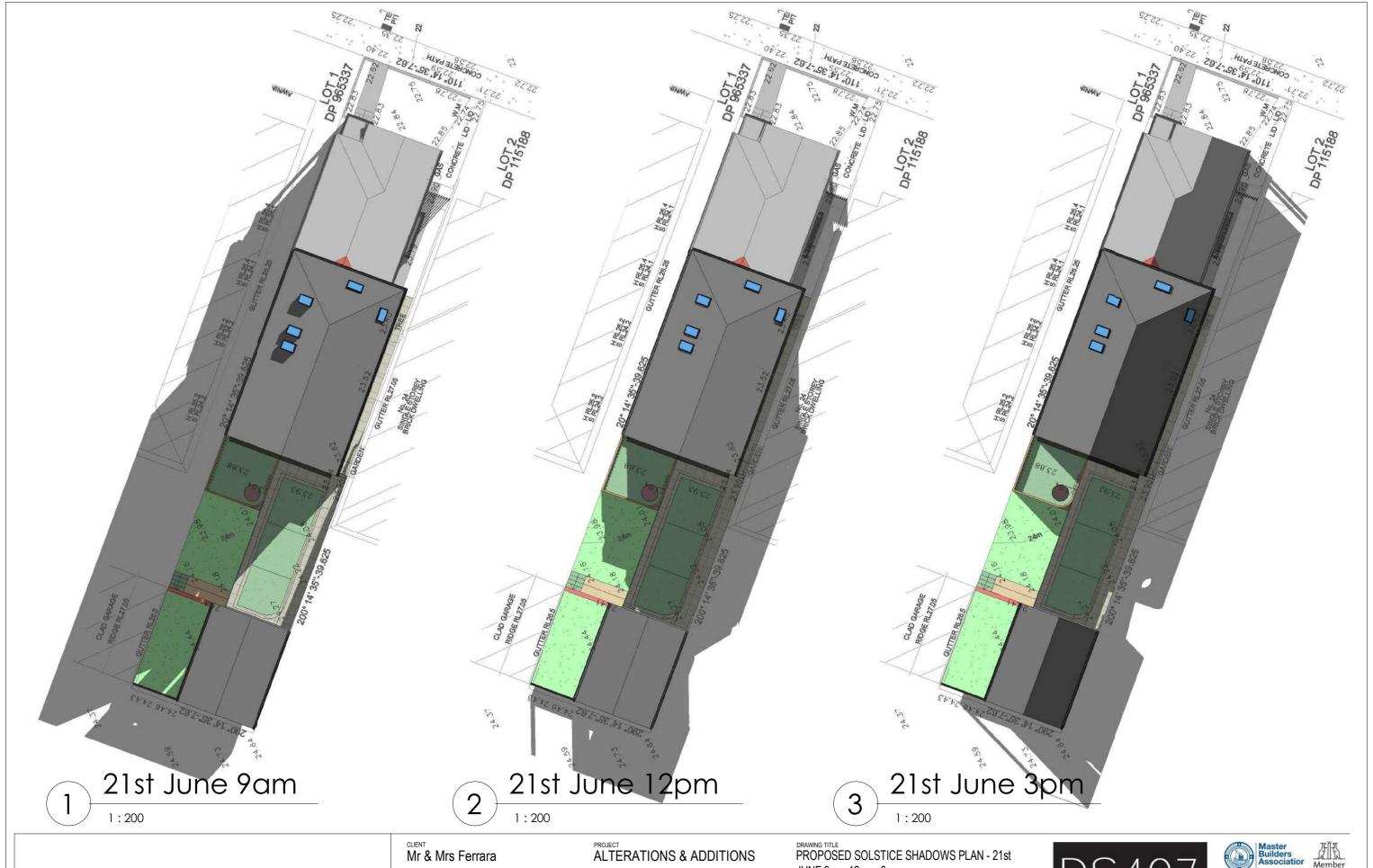
Teproduction:

Contractor(s) to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

888-1657

RO, EJS

CHECKED :



B DEVELOPMENT APPLICATION
A CONCEPT DESIGN 06-06-2022 DP RO, EJS 26-04-2022 DP RO, EJS ISSUE AMENDMENTS DATE DRN CHK

JUNE 9am, 12pm, 3pm

SHEET NO:	16		ISSUE:	В
SCALE:	1:200@	DA3	JOB NO:	888-165
DESIGN: DE	esigner	DRAWN: DP	CHECKED:	RO, EJS



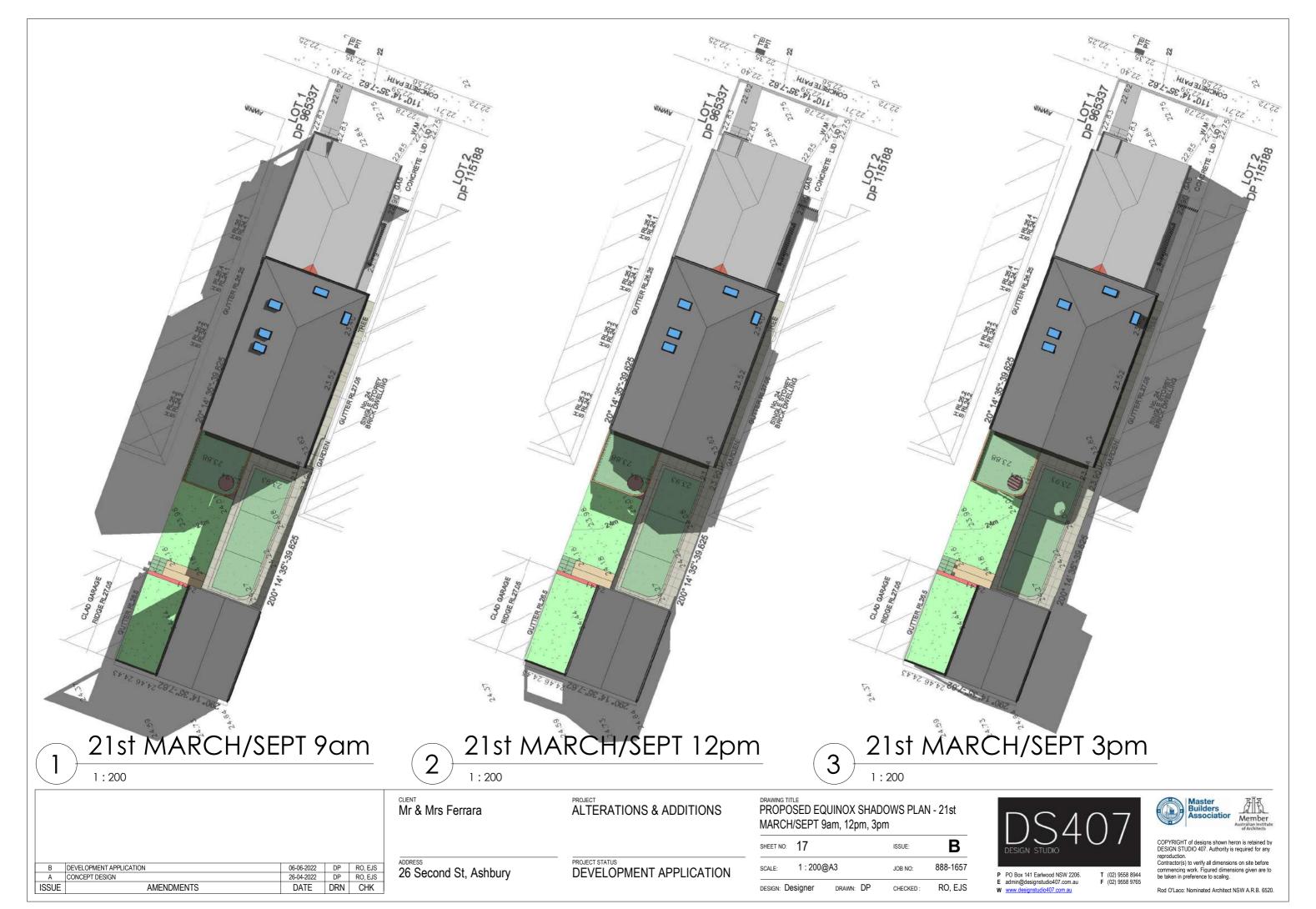
reproduction.

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DEVELOPMENT APPLICATION

26 Second St, Ashbury





Building Sustainability Index www.basix.nsw.gov.au

## Alterations and Additions

Certificate number: A460163

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www basix nsw.gov.au

Secretary
Date of issue: Thursday, 19, May 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address				
Project name	26 SECOND ST			
Street address	26 SECOND Street ASHBURY 2193			
Local Government Area	Canterbury-Bankstown Council			
Plan type and number	Deposited Plan 667052			
Lot number	32			
Section number				
Project type				
Dwelling type	Separate dwelling house			
Type of alteration and addition	My renovation work is valued at \$50,000 or more and includes a pool (and/or spa).			

Certificate Prepared by (please complete before submitting to Council or PCA)			
Name / Company Name: Buildir	g & Energy Consultants Australia		
ABN (if applicable): 921224077	13		

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1815 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	1	1	1
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.		1	1
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		1	1
Outdoor swimming pool	-		-
The swimming pool must be outdoors.	1	1	1
The swimming pool must not have a capacity greater than 30 kilolitres.	1	1	1
The applicant must install a pool pump timer for the swimming pool.		1	1
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		1	1

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting	-		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		1	1
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		1	1
The applicant must ensure new or aftered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		1	1
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		1	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifie Check		
nsulation requirements					
The applicant must construct the new or alter the table below, except that a) additional insul is not required for parts of altered construction	1	1	<b>√</b>		
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
floor above existing dwelling or building.	nil				
external wall: cavity brick	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R1.45 (up), roof foil backed blanket (55 mm)	dark (solar absorptance > 0.70)			
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (55 mm)	dark (solar absorptance > 0.70)			

Glazing	requirement	\$					Show on DA Plans	Show on CC/CDC Plans & specs	Certifie Check
Windows	and glazed	doors							
					hading devices, in accordar reach window and glazed o	nce with the specifications listed in the table below. door.	1	1	1
The follow	ving requiremen	nts must also	be satisf	ed in relation	to each window and glaze	d door.		1	1
have a U-	value and a So	lar Heat Ga	in Coeffici	ent (SHGC) r		or toned glass may either match the description, or, the table below. Total system U-values and SHGCs anditions.		1	V
have a U- must be co	value and a So alculated in ac-	lar Heat Gai cordance wit	in Coeffici th Nationa	ent (SHGC) r Fenestration	no greater than that listed in	gap/clear glazing, or toned/air gap/clear glazing must the table below. Total system U-values and SHGCs inditions. The description is provided for information		1	1
For project	tions described	d as a ratio, able below.	the ratio o	f the projection	on from the wall to the heigh	ht above the window or glazed door sill must be at	1	1	~
	owing buildings in the 'overshad				nt and distance from the cer	ntre and the base of the window and glazed door, as	~	1	~
Window	s and glaze	d doors	glazing r	equireme	nts				
	door Orientat		Oversha	dowing	Shading device	Frame and glass type			
no.		glass inc. frame	Height (m)	Distance (m)					
		(m2)							
W1	E		2 445	1.1	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1 D04	E	(m2)	2.445	1.1	none				
200		(m2) 0.54	20150	1000	0.000	U-value: 7.63, SHGC: 0.75) standard aluminium, single clear, (or			

Glazing requirements					Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Window / door	Orientation	Area of	Overshadowing		Shading device	Frame and glass type			
		glass inc. frame (m2)	Height (m)	Distance (m)					
D01	S	5	D	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	s	5.06	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	S	1.03	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W6	S	1.03	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	N	0.63	0	0	projection/height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	N	0.63	0	0	projection/height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W9	N	0.63	0	0	projection/height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	E	0.63	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W11	E	0.63	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W12	E	0.63	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W13	E	0.63	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W14	E	1.32	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W15	Е	1.3	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements						Certifie Check
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.					1	1
The following requirements must also be satisfied in relation to each skylight:					1	1
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					1	1
Skylights glaz	ing requireme	nts				
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	0.45	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	0.45	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S3	0.45	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S4	0.45	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S5	0.38	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

RO, EJS

CHECKED:

В	DEVELOPMENT APPLICATION	06-06-2022	DP	RO, EJS
A	CONCEPT DESIGN	26-04-2022	DP	RO, EJS
ISSUE	AMENDMENTS	DATE	DRN	CHK

Mr & Mrs Ferrara

26 Second St, Ashbury

PROJECT ALTERATIONS & ADDITIONS

SHEET NO: 18 ISSUE: 888-1657 SCALE: JOB NO: DEVELOPMENT APPLICATION

DESIGN: DP

DRAWN: DP

BASIX REQUIREMENTS

В

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Contractor(s) to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Rod O'Laco: Nominated Architect NSW A.R.B. 6520.

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